

ISUROON HEADQUARTERS

1600 E Lake St, Minneapolis, MN 55407

CONSULTANTS

PROJECT TITLE

ISUROON

ISSUE #	DATE	DESCRIPTION
1	03/23/2022	SCHEMATIC DESIGN

RENDERING



PROJECT LOCATION



PROJECT SUMMARY

Sheet List		
SHEET NUMBER	SHEET NAME	ISSUE 01
GENERAL		
G100	COVER SHEET	X
G120	CODE SUMMARY & LIFE SAFETY PLAN	X
ARCHITECTURE		
AD101	LEVEL 1 DEMOLITION PLAN & RCP DEMOLITION PLAN	X
A101	LEVEL 1 - OVERALL RCP & FLOOR PLAN	X
A401	EXTERIOR ELEVATIONS	X
A802	CONSTRUCTION TYPES - PARTITION TYPES	X

PROJECT TEAM

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CERTIFICATION

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CONSTRUCTION

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COMMISSION NUMBER	2508.01

SHEET TITLE

COVER SHEET

SHEET NUMBER

G100

CODE SUMMARY

GOVERNING CODES, LAWS & AGENCIES:

- 2020 Minnesota Conservation Code for Existing Buildings
- 2020 Minnesota Accessibility Code
- 2020 Minnesota Mechanical Code and Fuel Gas Code
- 2020 Minnesota State Plumbing Code
- 2020 Minnesota State Fire Code
- 2020 National Electrical Code

There will be no change of occupancy from an existing Group B – Business.

Scope of work is defined as follows:

- Alteration to the interior of the first floor including the following:
Demolition of interior partitions and ceilings.
Construction of new partitions and ceiling.
Addition of 3 accessible single user restrooms, and a single non-accessible restroom in a private office.
- Level 3 Alteration. Reconfiguration of partitions and modifications to all building systems; electrical, mechanical, and plumbing.
- Roof tear off to existing deck and replace with new membrane roof system.
- Repoint chimney.

1	Occupancy Classification (Existing Building)	Primary Occupancy: B (Office) Accessory Occupancy: S-2 (Storage)
2	Type of Construction (Existing Construction)	Building is assumed to meet the requirements for Type V-B Construction.
3	Allowable Area	Type V-B Building is existing and complies with Allowable Area for Type V-B Construction
4	Allowable Height	Type V-B Building is existing and complies with Allowable Stories and Height Based Type V-B Construction
5	Fire Resistance of Building Elements:	Type V-B The existing building is not sprinkled.
6	Opening Protection	Not Permitted @ X < 3' 15% @ 3' < X < 5' 25% @ 5' < X < 10' 45% @ 10' < X < 15'

7	Fire Draft Stops	75% @ 15' < X < 20' No Limit @ X > 20' Provide in compliance with IBC 718. NOTE: Any Fire Blocking or Draft Stopping that is removed during construction will be re-installed as original.
8	Means of Egress	Exit Element Dimension Exit Door (Minimum) 36" (3'-0") Corridor (Minimum) 44" (3'-8") - maintain 22" beyond projection of in-swinging door Guard Height (Minimum) 42" (3'-6") Common Path of Egress Distance B = 75' Exit Access Travel Distance (B) 100' Max Occupant Load is 69 for first floor Occupancy of lower level (not included in scope) will not change from existing
9	Occupant Load	Provide Fire Extinguishers in compliance with NFPA Chapter 10.
10	Fire Extinguisher	For Occupancy Group B
11	Interior Finish Ratings	Corridors B Rooms, enclosed spaces B Corridors C Rooms, enclosed spaces C
12	Accessibility	All public use areas are required to be designed and constructed to comply with the 2020 Minnesota Accessibility Code.

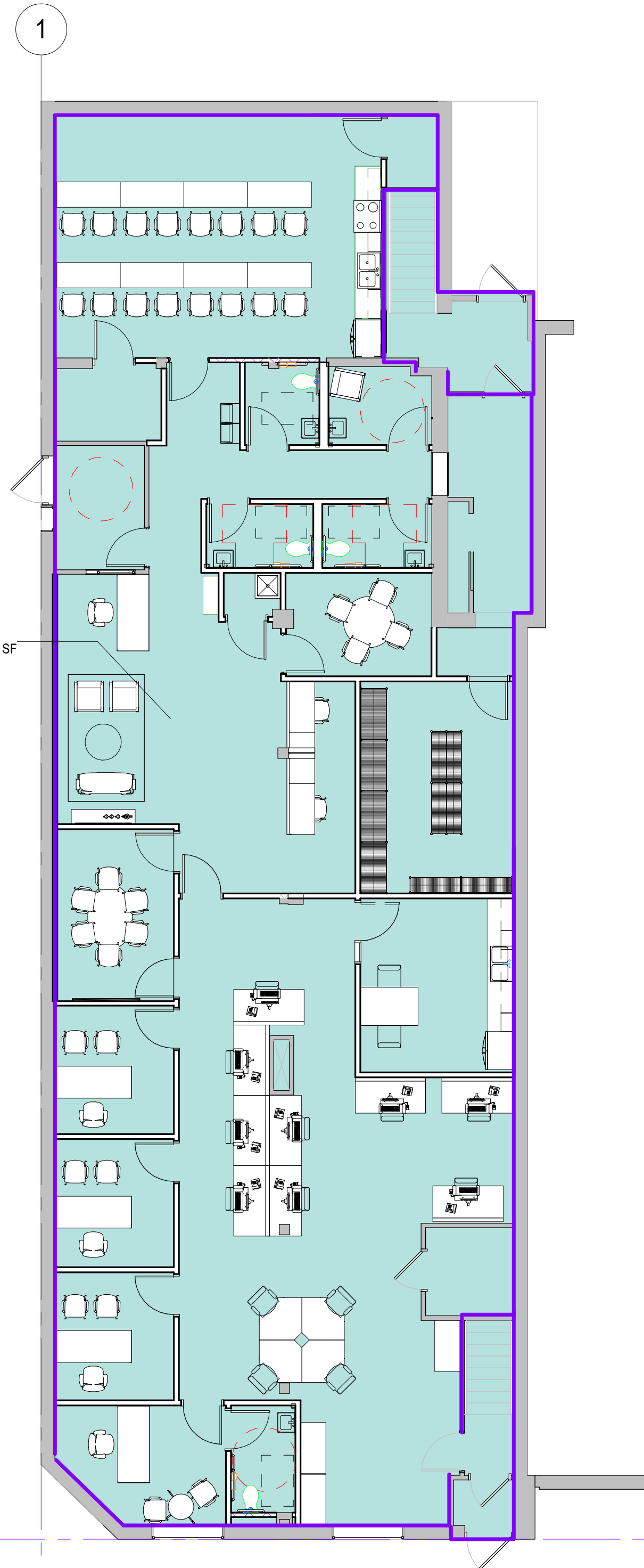
END OF CODE SUMMARY

Code Summary

CS - 1

Code Summary

CS - 2



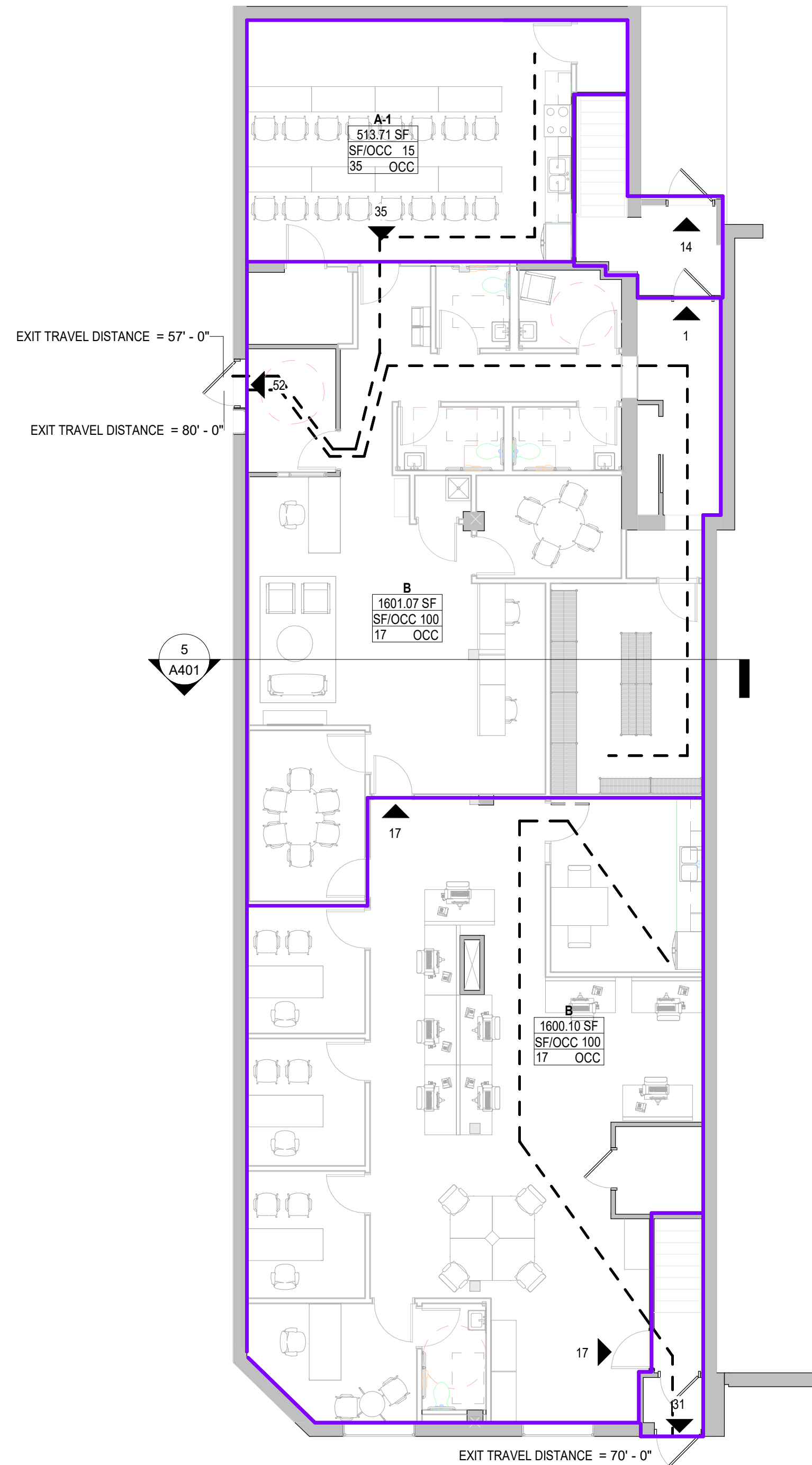
OCCUPANCY CLASSIFICATION

B

*GSF AREA BY BUILDING BY...	
Level	Area
BASEMENT	3307.49 SF
LEVEL 1	3448.21 SF
	6755.70 SF
TOTAL GSF	6755.70 SF

*GSF AREA BY BUILDING BY...	
Occupancy Classification	Area
B	3907.97 SF

3 LEVEL 1 - OCCUPANCY PLAN
G120 1/8" = 1'-0"



2 LEVEL 1 - CODE PLAN
G120 1/8" = 1'-0"

CODE LEGEND

[Shaded Box]	SEPARATED OCCUPANCY
SP	STANDPIPE
FE FEC	FIRE EXTINGUISHER. SEE FLOOR PLANS FOR FIRE EXTINGUISHER TYPES AND LOCATIONS
---	EXIT TRAVEL DISTANCE
#	NUMBER OF OCCUPANTS EXITING
#	OCCUPANT LOAD
LIFE SAFETY ROOM TAG:	
Name	INDICATES ROOM NAME
101	INDICATES ROOM NUMBER
100 SF	INDICATES ROOM SQUARE FOOTAGE
SF/OCC 20	INDICATES SQUARE FOOTAGE PER OCCUPANT
10 OCC	INDICATES OCCUPANT LOAD

- LIFE SAFETY PLAN NOTES:**
- LIFE SAFETY PLANS ARE INTENDED TO BE PRINTED IN COLOR FOR CLARITY.
 - HIGHEST REQUIRED HOURLY RATING FOR ANY INDIVIDUAL WALL WILL BE SHOWN IN A-SHEETS WHERE MULTIPLE REQUIRED RATINGS OCCUR BASED ON LIFE SAFETY AND CONSTRUCTION TYPE.
 - EXIT ACCESS TRAVEL DISTANCE PER IBC 1016.1 IS 250 FEET AT R-2, 400 FEET AT S-2.
 - MAXIMUM TRAVEL DISTANCE TO FIRE EXTINGUISHER PER IFC 906.3 IS 75 FEET.
 - SEE SHEET G110 FOR COMPLETE CODE SUMMARY.
 - PROVIDE 2-WAY COMMUNICATION AT ELEVATOR LOBBIES PER IBC 1007.8.
 - ALL DWELLING UNITS ARE MN STATE ACCESSIBILITY TYPE B PER CODE, CHAPTER 154 UNLESS NOTED OTHERWISE.
 - SEE SHEETS G131 AND G132 FOR BEARING WALL LOCATIONS AND STRUCTURAL MEMBERS REQUIRING CONSIDERATION OF INDIVIDUAL PROTECTION PER IBC 704 (SEE STRUCTURAL FOR ADDITIONAL INFORMATION).
 - ASSEMBLY OCCUPANT LOADS SHALL BE POSTED BY SIGNAGE AT TIME OF FINAL BUILDING INSPECTION.
 - PROVIDE IDENTIFICATION MARKINGS ON ALL WALLS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS PER MBC 703.7.

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Landscape
Architecture

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SHEET TITLE

CODE SUMMARY
& LIFE SAFETY
PLAN

SHEET NUMBER

G120

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SHEET TITLE
**LEVEL 1
DEMOLITION
PLAN & RCP
DEMOLITION
PLAN**
SHEET NUMBER

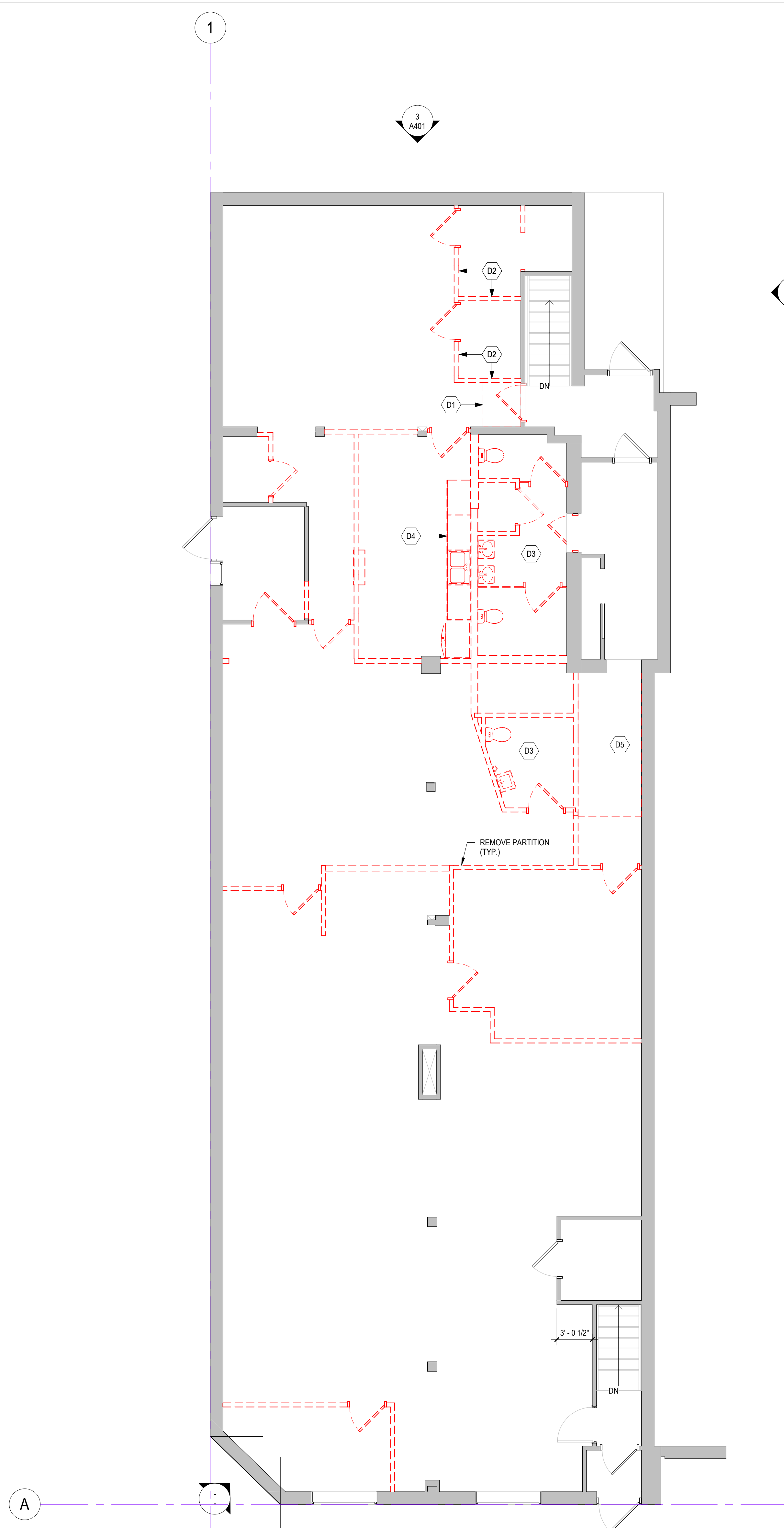
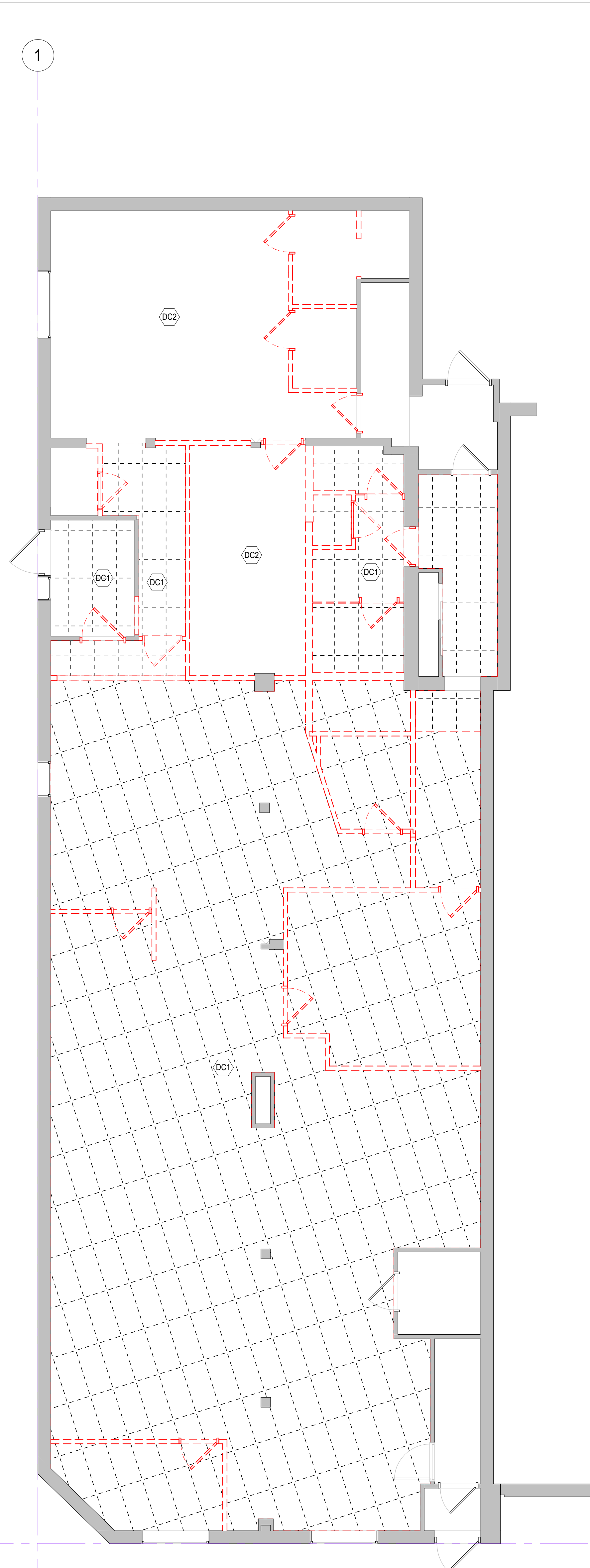
AD101

DEMOLITION KEYNOTES

D1	REMOVE STEP AND LANDING
D2	REMOVE WOOD PARTITIONS AND ASSOCIATED DOORS, FRAMES AND HARDWARE
D3	REMOVE TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, FINISHES, CUT AND CAP PLUMBING
D4	REMOVE UPPER AND LOWER CABINETS, SINK AND RELATED PIPING
D5	RAMP TO BE REMOVED
DC1	REMOVE EXISTING ACT CEILING INCLUDING GRID, HANGERS, TILES, REMOVE LIGHT FIXTURES, CEILING-MOUNTED DEVICES, AND GRILLES AND DIFFUSERS
DC2	DEMO ANY CEILING / GRID / CEILING MOUNTED DEVICES

DEMOLITION PLAN GENERAL NOTES

- DEMOLITION TO BE COMPLETED IN A SINGLE PHASE.
- DO NOT SCALE THE DRAWINGS FOR CONSTRUCTION PURPOSES. REPORT OMISSIONS OR DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR TO COORDINATE ALL CUTTING AND PATCHING REQUIRED FOR MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER WORK. EXTENT SHOWN ON PLANS IS APPROXIMATE.
- VERIFY LOCATION OF EXISTING POWER, COMMUNICATION, AND DATA CABLES.
- CONTRACTOR SHALL INSPECT AND CONFIRM THE LOCATION OF ANY EXISTING LOADBEARING WALL. AFFECTED BY REMODELING. IF LOAD BEARING WALLS ARE DISCOVERED OR SUSPECTED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH DEMOLITION.
- REPAIR AND PREP ALL SURFACES WHERE MATERIALS HAVE BEEN REMOVED (WALLS, DOORS, FRAMES, FLOORS, ETC.) TO ALLOW FOR NEW FINISHES TO BE INSTALLED FREE OF DEFECTS.
- CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION PARTITIONS AS NECESSARY TO SEPARATE AREA OF DEMOLITION/CONSTRUCTION FROM AREAS IN THE BUILDING NOT IN CONTRACT.
- CONTRACTOR SHALL MAINTAIN A SECURE AND WEATHER-TIGHT ENCLOSURE AT ALL TIMES.
- THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS AND/OR EQUIPMENT.
- PROTECT ALL EXISTING BUILDING MATERIALS, EQUIPMENT, AND SYSTEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED ACTIVITIES PERFORMED UNDER THIS CONTRACT.
- REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION AND/OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR NEW CONSTRUCTION.
- PATCH WALL, FLOOR, AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE, SECURITY, AND ACOUSTIC RATINGS AND SEPARATIONS.
- WHERE EXISTING WALLS ARE REMOVED AND A DIFFERENT FLOOR ELEVATION OCCURS BETWEEN THE SPACE, PREPARE AND/OR REMOVE PART OF FLOOR AS NECESSARY TO PROVIDE A SMOOTH LEVEL TRANSITION. COORDINATE REQUIRED FLOOR PREP WITH NEW FLOOR FINISH.
- CONTRACTOR TO VERIFY AND COORDINATE REQUIRED AREAS FOR SLAB REMOVAL FOR NEW WORK. AREAS SHOWN ON THE DEMOLITION PLANS ARE APPROXIMATE. ALL AREAS SHALL BE PATCHED TO MATCH EXISTING UPON COMPLETION OF UNDER SLAB WORK INCLUDING EXISTING UNDER SLAB VAPOR BARRIER.
- CONTRACTOR SHALL BAG-COVER ALL EXISTING FIRE ALARM SMOKE DETECTORS IN WORK AREAS. COORDINATE WITH OWNER FOR ANY REQUIRED TESTING AND DAILY RED TAG PROGRAM.
- THE OWNER WILL REMOVE EXISTING FURNITURE AND EQUIPMENT IN AFFECTED WORK AREAS, AND STORE THEM IN A LOCATION OUTSIDE OF THE WORK AREA. THE OWNER WILL RE-INSTALL THESE ITEMS FOLLOWING COMPLETION OF CONSTRUCTION WORK, AS INDICATED ON THE PHASING PLANS.
- VERIFY LOCATIONS OF EXISTING CONDUITS WHICH MAY BE EMBEDDED IN CONCRETE SLABS.
- EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION TO THE OWNER'S OPERATIONS AND TO PROVIDE SAFETY FOR BUILDING USERS. EXCESSIVE NOISE AND/OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- IF DEMOLITION REVEALS MATERIALS SUSPECTED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS SUBSTANCES, THEN CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY THE ARCHITECT AND THE OWNER. WORK SHALL NOT PROCEED UNTIL FURTHER DIRECTION IS PROVIDED.
- ALL NEW OPENINGS IN EXISTING CONCRETE OR MASONRY WALLS SHALL BE NEATLY CUT. ONLY STRAIGHT CUT LINES AND CORERS SHALL BE PERMITTED. AT CMU WALLS WHERE NEW OPENINGS ARE INTENDED TO BE LEFT EXPOSED, TOOTH IN NEW SOLID CMU TO PROVIDE A FLUSH OPENING.



2 LEVEL 1 RCP - DEMO/EXISTING
AD101 3/16" = 1'-0"

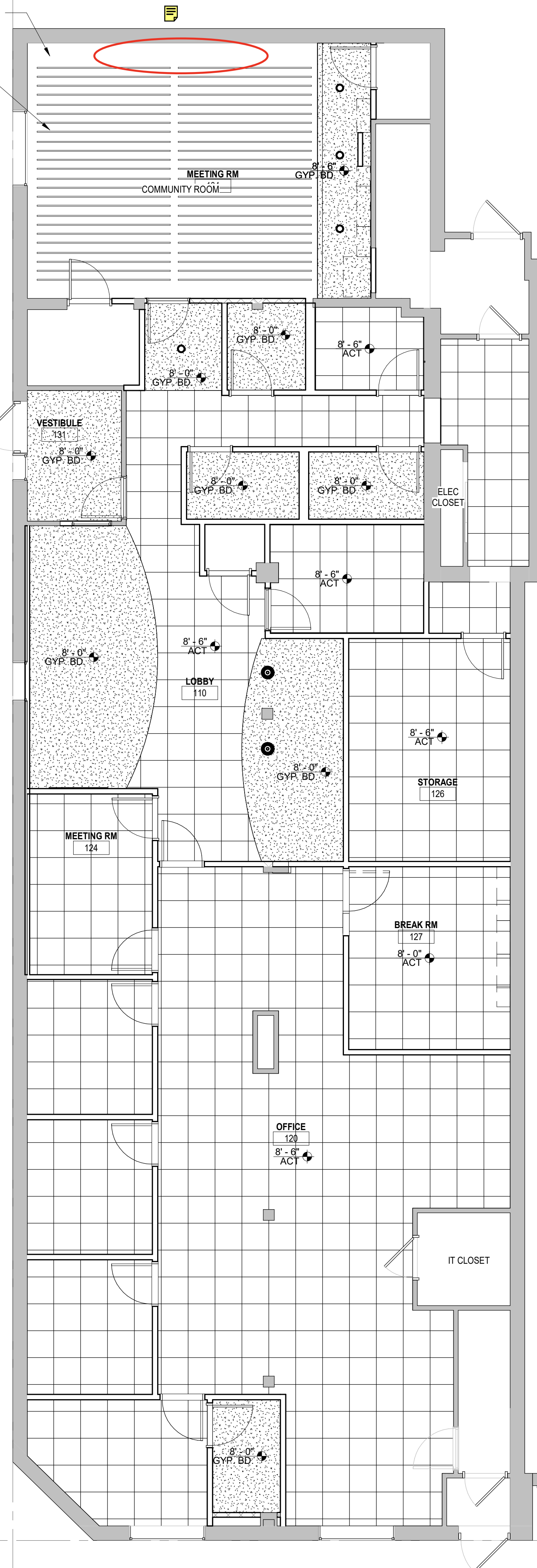
1 LEVEL 1 - DEMOLITION PLAN
AD101 3/16" = 1'-0"

GENERAL RCP NOTES

- DO NOT SCALE DRAWINGS
- LOCATION OF DEVICES AND EQUIPMENT SHOWN ON DRAWINGS OF OTHER DISCIPLINES ARE SCHEMATIC AND GENERAL. SPECIFIC LOCATIONS OR GUIDELINES INDICATED ON THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE LOCATION OF EXPOSED WORK OF ALL TRADES.
- INSTALL SPRINKLER HEADS, SMOKE ALARMS, LIGHT FIXTURES OR OTHER EXPOSED DEVICES AT CENTER OF ACoustICAL TILE (WHERE OCCURS), AT CENTER OF SOFFIT (WHERE OCCURS), OR AT CENTER OF ROOM, UNO. IF DIMENSION TO LOCATE A SPECIFIC DEVICE IS GIVEN IN ONE DIRECTION, CONTRACTOR TO CENTER THE DEVICE ON CEILING OR SOFFIT IN OTHER DIRECTION FOR CLARITY. UNDER CABINET, TASK AND COVE LIGHTING ARE NOT SHOWN ON THE ARCHITECTURAL RCP. SEE A8 SERIES (INTERIOR ELEVATIONS) AND A9 SERIES (INTERIOR DETAILS) FOR LOCATIONS.
- FOR CLARITY, FLOOR-MOUNTED LIGHT FIXTURES ARE NOT SHOWN ON THE ARCHITECTURAL RCP. SEE A2 SERIES (GENERAL FLOOR PLANS) FOR LOCATIONS.
- REMOVE ALL BARCODE, TAGS, ETC. FROM CONDUIT, PIPING AND DUCTWORK PRIOR TO INSTALLATION. ROTATE PERMANENT MARKINGS TO CONICAL.
- ALL CEILING HEIGHTS INDICATED ARE FROM TOP OF FINISHED FLOOR, UNO.
- UNIT LIGHTING IS ONLY SHOWN IN A ROOM TYPICAL. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- AT ALL EXPOSED CEILING CONDITIONS, COORDINATE ALL WIRING, CONDUIT, DUCTS ETC FOR AN ORGANIZED FINISHED LOOK.
- CEILING HEIGHTS ARE SHOWN ON THE REFLECTED CEILING PLAN.
- REFER TO ELECTRICAL DRAWINGS AND FIRE PROTECTION DRAWINGS FOR FIXTURE EQUIPMENT TYPE.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.
- PLACE ALL CEILING MOUNTED EQUIPMENT IN THE CENTER OF THE CEILING TILE UNLESS NOTED OTHERWISE. COORDINATE ALL DISCREPANCIES WITH ARCHITECT PRIOR TO INSTALLATION.
- SEE INTERIOR ELEVATIONS/SECTIONS/DETAILS FOR ADDITIONAL INFORMATION ON FINISHED SOFFIT, BULKHEAD, CEILING, ETC. WHERE NOT INDICATED ON REFLECTED CEILING PLAN. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
- PAINT ALL STRUCTURE EXPOSED TO VIEW UNLESS NOTED OTHERWISE. PAINT ALL EXPOSED CONDUIT, PIPE, DUCTWORK, ETC.
- PAINT ALL GYPSUM BOARD CEILINGS. SEE FINISH SCHEDULE FOR PAINT COLOR.
- CENTER ALL FIXTURES AND DEVICES IN CEILING TILE UNLESS NOTED OTHERWISE.
- ALL EXIT DEVICES TO BE PENDANT MOUNTED FROM DECK EXCEPT MAIN ENTRY. EXIT SIGN WHICH IS TO BE WALL MOUNTED AND CENTERED ABOVE DOORS.
- COORDINATE LOCATION OF ALL LIGHT SWITCHES AND THERMOSTATS W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- INSTALL MECHANICAL AND PLUMBING WORK TIGHT TO STRUCTURAL ELEMENTS TO MAINTAIN MAXIMUM CEILING HEIGHT UNLESS NOTED OTHERWISE.
- LIGHT FIXTURES SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS.
- MECHANICAL SHOWN FOR REFERENCE ONLY. SEE MECHANICAL PLANS.
- COORDINATE WITH ALL TRADES INVOLVED AND COMPARE COMPOSITE SHOP DRAWINGS TO ENSURE CLEARANCES FOR LIGHT FIXTURES, DUCT WORK, CEILING, CABLING, ETC. NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR SLAB AS NOTED ON THE DRAWINGS. CLARIFY CONFLICTS WITH ARCHITECT IMMEDIATELY.
- REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR:
 - GENERAL TYPE AND SPECIFIC LOCATION OF LIGHT FIXTURES.
 - LIGHT SWITCH LOCATIONS.
- REFER TO THE MECHANICAL DRAWINGS FOR:
 - DUCT WORK, AIR MOVEMENT REQUIREMENTS, SIZES OF GRILLES, DIFFUSERS AND REGISTERS.
- REFER TO THE ELECTRICAL DRAWINGS FOR:
 - CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES
 - LIFE SAFETY EQUIPMENT AND EXIT SIGN LOCATIONS.
 - LOCATION OF REQUIRED EMERGENCY LIGHT FIXTURES
 - LIGHT FIXTURE SPECIFICATIONS
- ALL LIGHT FIXTURES TO BE CENTERED IN CEILING TILE UNLESS NOTED OTHERWISE.
- PREPARE AND SUBMIT THE FOLLOWING DRAWINGS TO THE ARCHITECT AND MECHANICAL ENGINEER FOR REVIEW AND COORDINATION PRIOR TO ORDER OR FABRICATION OF MATERIALS AND OR INSTALLATION OF SYSTEM:
 - HVAC DRAWINGS
 - ELECTRICAL DRAWINGS, INCLUDING SWITCH LOCATIONS
 - SPRINKLER DIAGRAMS AND HEAD LOCATIONS
- REFER TO SHEET A7 FOR DEVICE PLATE MOUNTING HEIGHTS UNLESS NOTED OTHERWISE.
- PROVIDE ADDITIONAL EXIT SIGNS AND EMERGENCY LIGHT FIXTURES WITH DIRECTION BY THE BUILDING INSPECTOR. SPECIFIC LOCATIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND FINAL APPROVAL.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ENERGY CODES.
- ACOUSTICAL CEILING TO BE ACT-1 AT 9'-0" AFF UNLESS NOTED OTHERWISE.
- GYPSUM BOARD CEILINGS TO BE PAINTED WHITE UNLESS NOTED OTHERWISE.
- PAINT ALL EXPOSED CEILING AND ALL VISIBLE AREAS ABOVE THE WOOD CEILING.

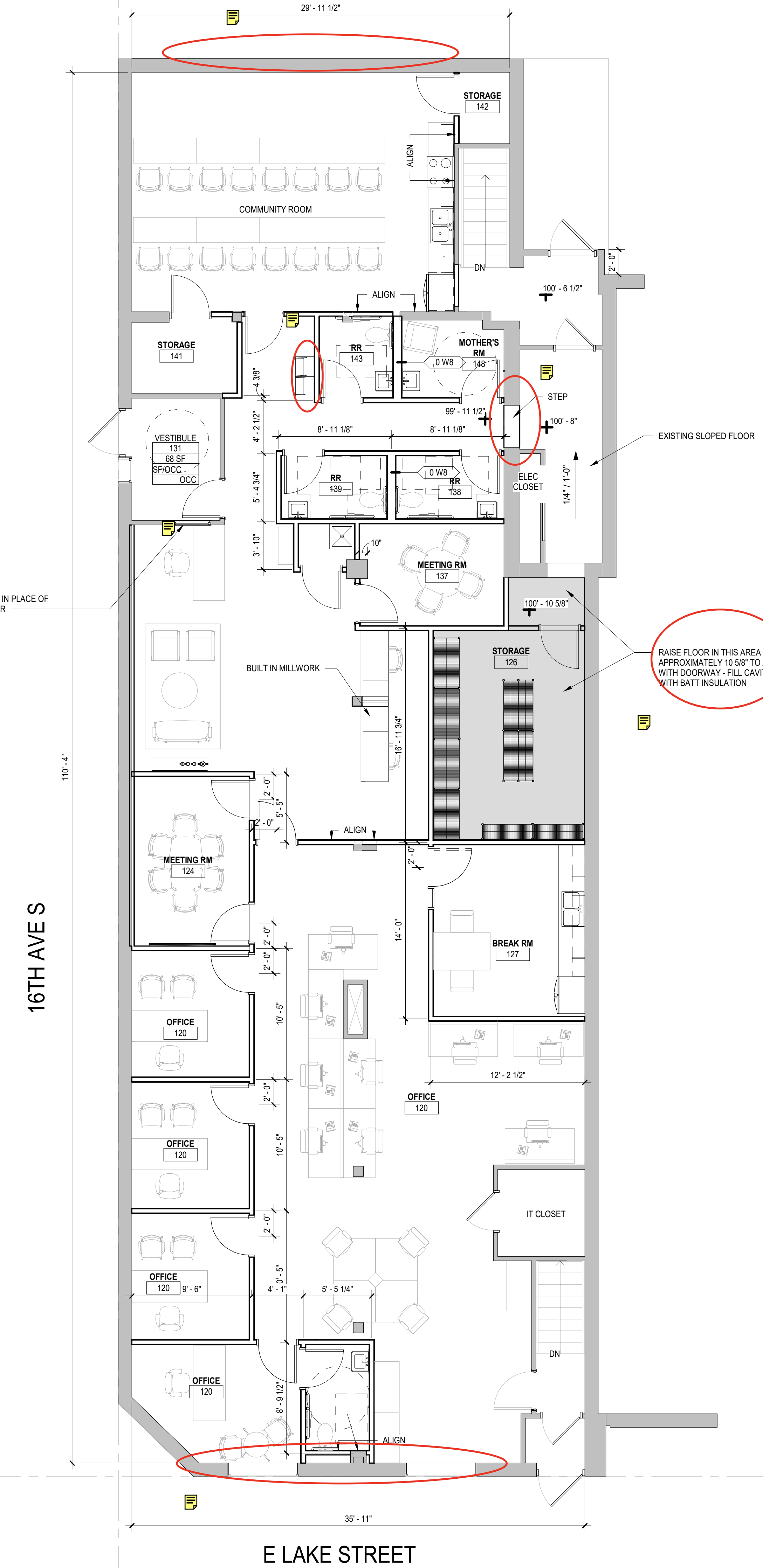
PAINT EXPOSED CEILING ABOVE

CABLE MOUNTED
SUSPENDED ACOUSTICAL
BAFFLE CEILING TREATMENT -
https://lurf.design



2 LEVEL 1 RCP
A101 3/16" = 1'-0"

1 LEVEL 1 - Enlarged Overall
A101 3/16" = 1'-0"



RAISE FLOOR IN THIS AREA
APPROXIMATELY 10.58" TO ALIGN
WITH DOORWAY - FILL CAVITY
WITH BATT INSULATION

16TH AVE S

E LAKE STREET

EXTERIOR ELEVATION KEYNOTES	
E1	TYPICAL ALL FACES, REMOVAL OF FINISH PAINT TO SURFACE OF EXISTING BRICK
E2	50% TUCK POINTING
E3	NEW EXTERIOR PAINT
E4	FUTURE MURAL BY OWNER

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Interior Design
Landscape
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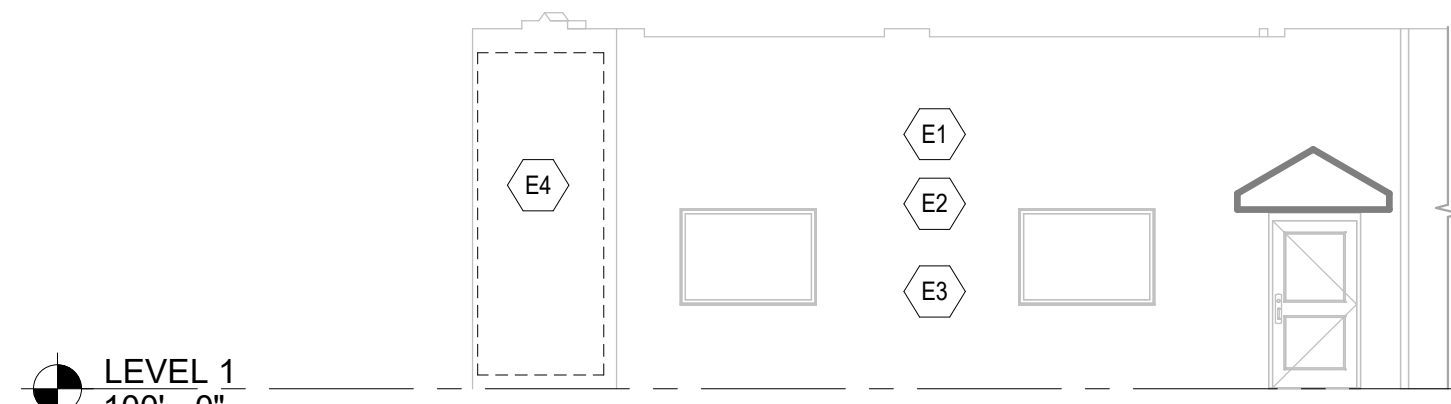
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SHEET TITLE

**EXTERIOR
ELEVATIONS**

SHEET NUMBER

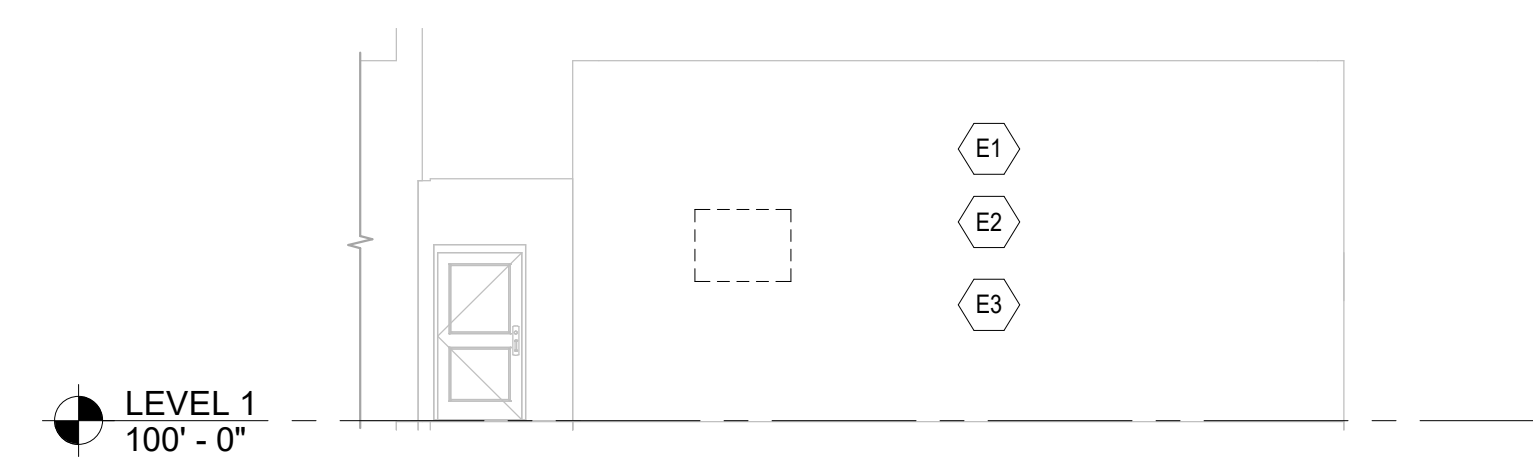
A401



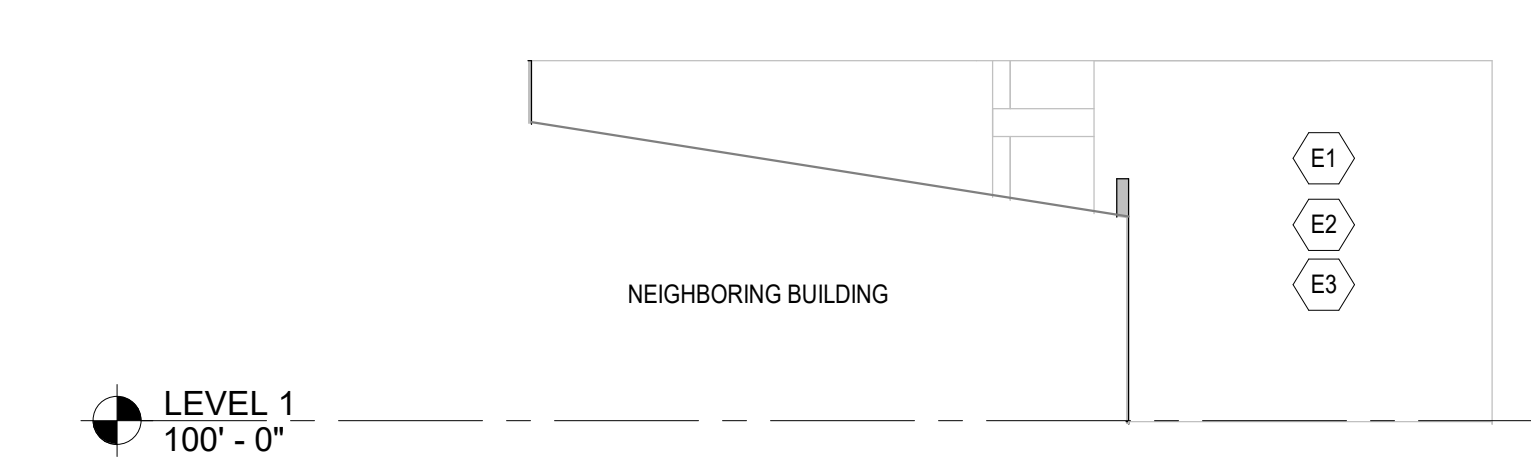
1 SOUTH
A401 1/8" = 1'-0"



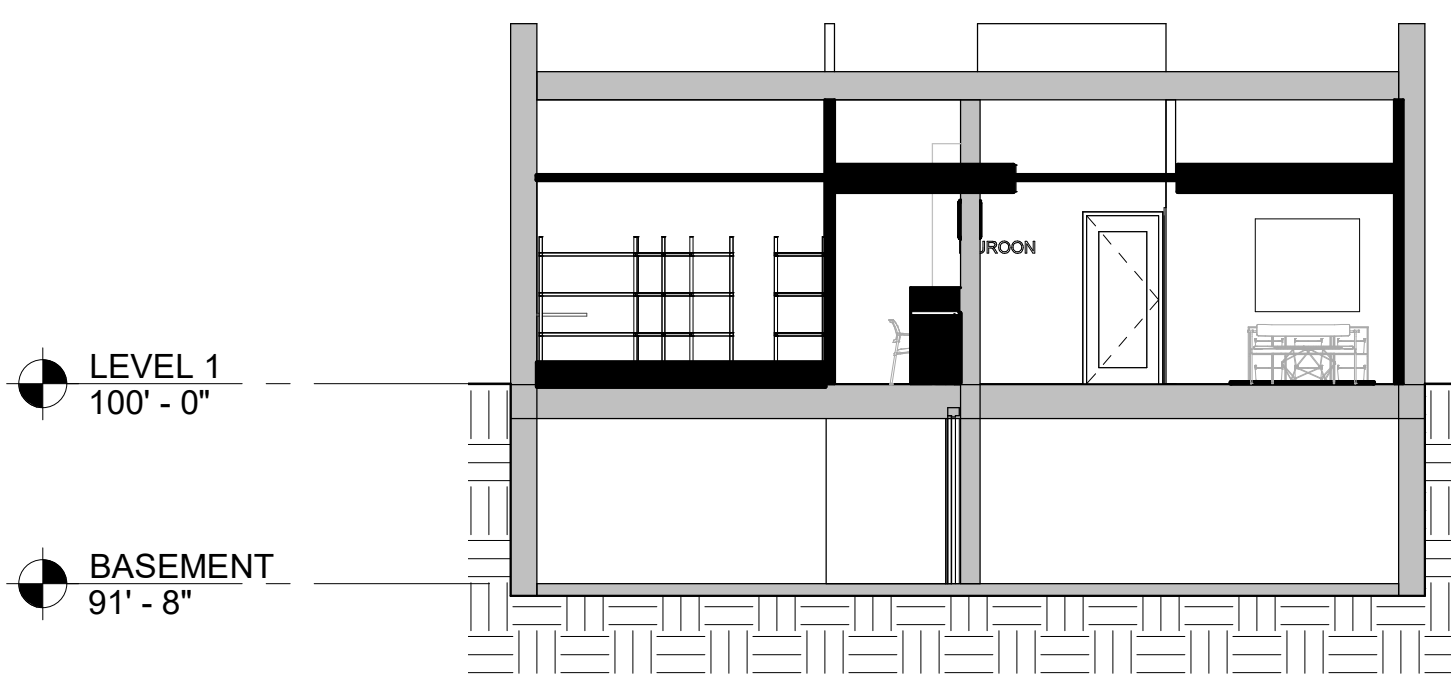
2 WEST
A401 1/8" = 1'-0"



3 NORTH
A401 1/8" = 1'-0"



4 EAST
A401 1/8" = 1'-0"



5 SECTION EAST-WEST
A401 1/8" = 1'-0"

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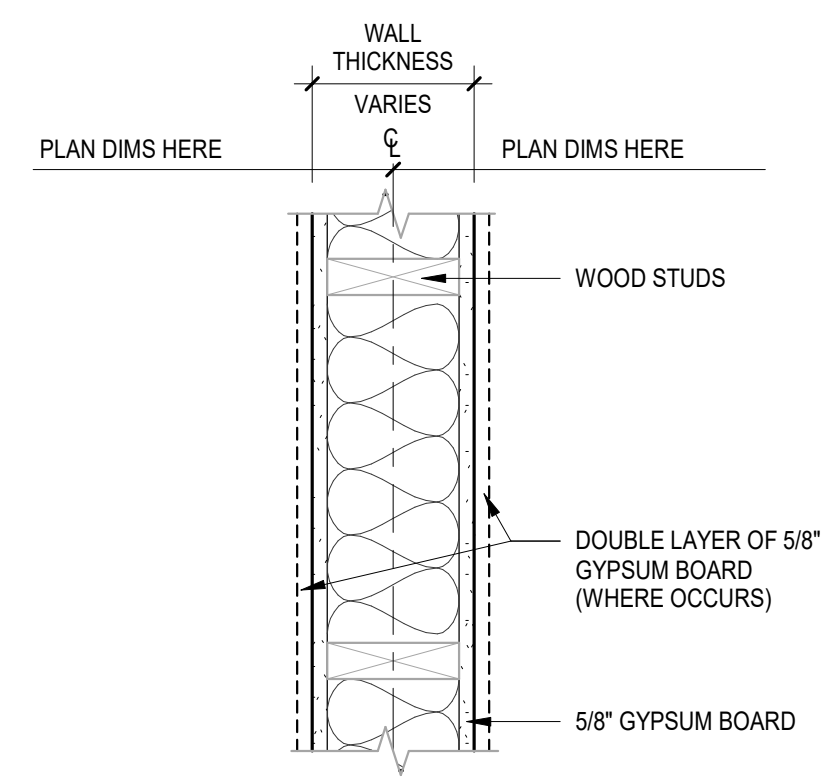
SHEET TITLE

CONSTRUCTION
TYPES -
PARTITION
TYPES

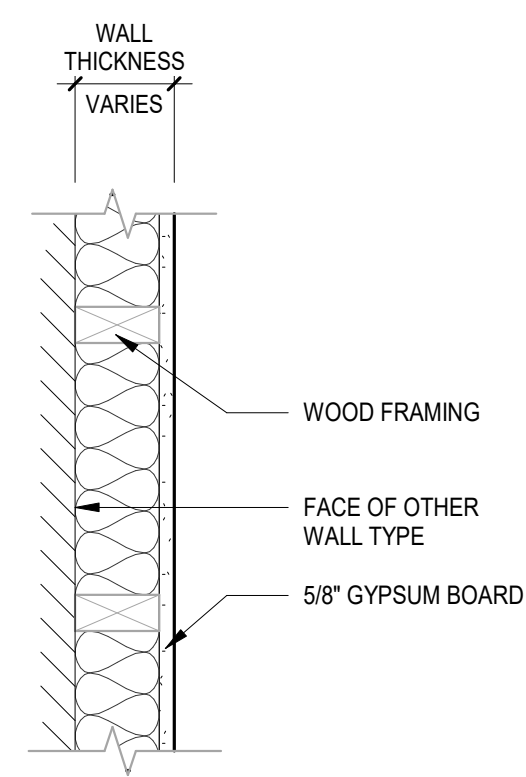
SHEET NUMBER

A602

WOOD CONSTRUCTION PARTITION



WOOD FURRING PARTITIONS



WALL TYPE	TOTAL THICK	STUD	SPACING	FIRE RATING	RESISTANCE RATING	ESTIMATED STC		SOUND TEST	GYP BD # / LOCATION	COMMENTS
						W/O INSUL	W/ INSUL			
<0W4>	4 3/4"	2x4	SEE STRUCT	NA	NA	NA	NA	NA	ONE LAYER GYP BD EACH SIDE	
<0W6>	6 3/4"	2x6	SEE STRUCT	NA	NA	NA	NA	NA	ONE LAYER GYP BD EACH SIDE	
<0W8>	8 1/2"	2x8	SEE STRUCT	NA	NA	NA	NA	NA	ONE LAYER GYP BD EACH SIDE	
<1W4>	4 3/4"	2x4	SEE STRUCT	1 HR	UL-U305	35-39	40-44	NA	ONE LAYER GYP BD EACH SIDE	
<1W6>	6 3/4"	2x6	SEE STRUCT	1 HR	UL-U305	35-39	50-56	NA	ONE LAYER GYP BD EACH SIDE	
<2W4>	6"	2x4	SEE STRUCT	2 HR	UL-WP3825		55	NA	ONE LAYER GYP BD EACH SIDE	
<2W6>	6"	2x6	SEE STRUCT	2 HR	UL-WP3825		55	NA	ONE LAYER GYP BD EACH SIDE	